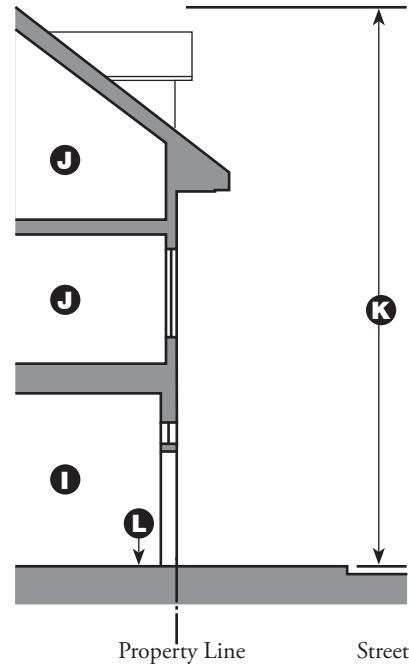
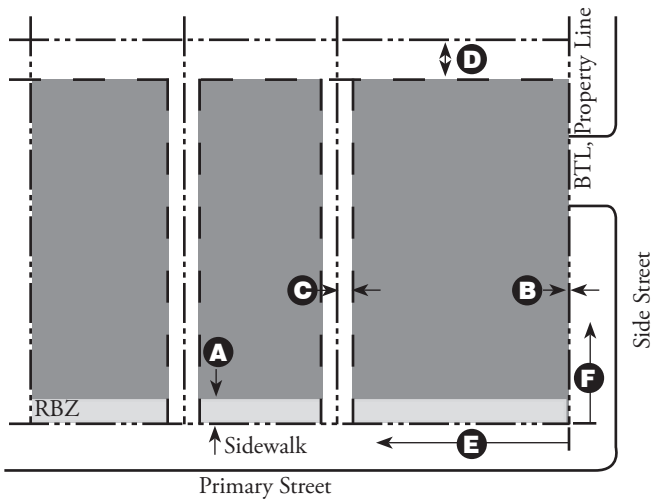


Town Center (TC) Standards



Key

- Property Line
- Setback Line
- ▒ Build-to-Zone (RBZ)
- Building Area

Building Placement

Build-to-Zone (Distance from Property Line)		
Front	0' min. - 10' max.	A
Side Street, corner lot	0'	B

* For redevelopment properties where adjacent buildings are set back less than 12' from the public right of way, the Front Build-to-Zone maximum may be set to align with the front face of immediately adjacent properties.

Setback		
Side	5' min.	C
Rear	10' min.	D
Adjacent to residential	10' min.	D
Adjacent to any other use	5' min.	D

Building Form <small>(relationship between building width and lot width)</small>		
Primary Street RBZ	60 min.-80% max.	E
Side Street, Corner Lot RBZ	30% min.	F

Notes

Rear facing buildings, loading docks, overhead doors, and other service entries are prohibited on street-facing facades.

All floors must have a primary ground-floor entrance which faces the street.

Maximum 5,000 square foot building footprint.

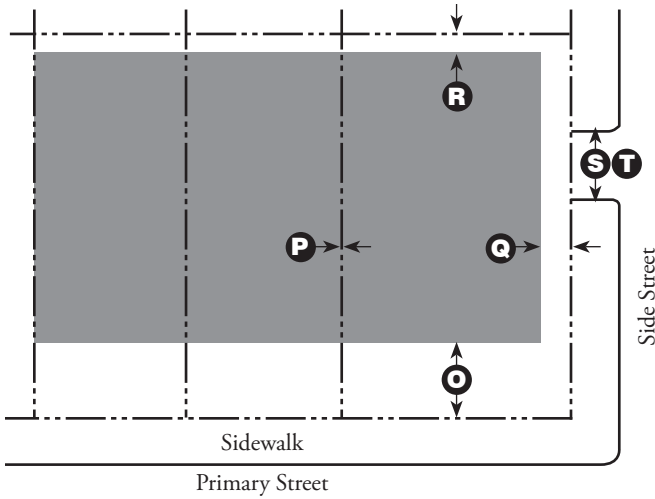
Use

Ground Floor	Service, Retail, Entertainment, Education and Public Assembly	I
Upper Floor(s)	Residential, Retail and Service	J

Height

Building Minimum	16'	K
Building Maximum	2.5 Stories	K
Ancillary Building Maximum	1.5 Stories	
Finish Ground Floor Level	12" max. above sidewalk	L

*All heights measured to eaves or top of parapet.



Key

- Property Line
- Parking Area

Parking*

Location (Distance from Property Line)

Front Setback	20' min.	O
Side Setback	0' min.	P
Side Street Setback	10' min.	Q
Rear Setback	5' min.	R

*A 15' setback is required when adjacent to an existing residential use.

Required Spaces

Ground Floor

Uses < 3,000 sf (1 Story)	1 space/200 sf
Uses < 3,000 sf (2 Story)	No off-street parking required
Uses > 3,000 sf	1 space/400 sf

Upper Floor(s)

Residential uses	1 space/unit; .5 space/studio
Other uses	1 space/600 sf

Parking Drive Width	16' min.	S
Or as required by Standish Fire Department		
On corner lots, parking drive shall not be located on primary street.		T

Notes

Shared drives are encouraged between adjacent lots to minimize curb cuts.

Parking may be provided off-site within 1,300', on-site or as shared parking. 50% of off-street parking may utilize compact dimensions.

Street Space (see page 12)

Location (Width Distances)		
Sidewalk	8' (Both Sides)	U
Amenity Zone	8' (Both Sides)	V
Shoulder	6' (Two Lanes)	W
Travel Lanes	11' (Two Lanes)	X

Blocks & Intersections

Block length	250' min. 450' max.
Intersection	TA (new street)

Conditional Review Triggers

- Proposed or existing buildings not meeting min. RBZ street frontage requirement
- Proposed projects not utilizing TC required parking spaces
- Proposed buildings more than fifty (50) feet along RBZ street frontage
- Proposed lot does not meeting min. required lot size of 20,000 square feet

Town Center (TC) Allowed Land Uses and Permit Requirements

Refer to the Standish Corner District Regulating Plan for the location of Street Frontage Types to determine permitted uses.

Non-conforming uses as of the date of this Ordinance or as revised are subject to standards of Article 5: Nonconforming Uses. When Site Plan review is triggered, the use and / or structure shall comply with applicable Street Frontage Type standards to the greatest extent practicable.

Planning Board Review is required for new construction, expansion, reconstruction and subdivision, but CEO approval is only required for subsequent uses in existing structures that:

1. Do not increase anticipated traffic volumes by 10%
2. Do not change vehicular traffic patterns
3. Do not increase parking requirements by more than 10%
4. Do not change the exterior visual appearance of buildings and continue to meet the applicable Street Frontage Type standards.
5. That are eligible for a permit by CEO per Street Frontage Type

Permitted uses, not requiring site plan review, shall be as follows. Such uses shall require approval from the Code Enforcement Officer only:

Accessory uses and buildings

Dwelling, one unit

Dwelling, two units

Dwelling, Studio

Home occupation level 1

Home occupation Level 2

Home occupation level 3

Home retail sales

Outdoor display and sales

Yard or garage sale

Tradesman

Permitted uses requiring site plan or subdivision review shall be as follows. Such uses shall require Planning Board approval, in accordance with Section 181.7.1, Part 2 or Part 3 of this chapter:

Art center – indoor

Art gallery/museum

Business profession office

Cafe

Convenience store

Dwelling, multiple family

Inns

Municipal uses

Public utility

Public house

Restaurant (includes outdoor dining)

Retail businesses

Schools

Building Form Standards

A. Window and Door to Façade Ratios:

- (1) Blank lengths of wall exceeding twenty (20) linear feet are prohibited on all RBZ's.
- (2) Fenestration on the ground story façades shall comprise at least fifty percent (50%), but not more than ninety percent (90%) of the façade area situated between two (2) and eight (8) feet above the adjacent public sidewalk on which the façade fronts.
- (3) Fenestration on the upper story façades shall comprise at least thirty percent (30%), but no more than seventy percent (70%) of the façade area per story (measured as a percentage of the Façade between floor levels).
- (4) The building façade may include jogs within the RBZ to articulate entrances, break down the form of the building or create outdoor areas for seating or the display of goods.

B. Building Projections:

- (1) Awnings, porches and stoops shall not project closer than five (5) feet to a common lot line.
- (2) No part of any building, except projecting signage, overhanging eaves, balconies, bay windows and awnings, shall encroach beyond the minimum required RBZ. An Eight (8) foot clearance must be maintained between the ground and the bottom of the projecting encroachment. The top of projecting signage or awnings shall not be placed higher than the second story floor plate.

C. Doors/Entries:

- (1) Functioning entry door(s) shall be provided along ground story façades at intervals not greater than fifty (50) linear feet.

D. Building Walls:

- (1) Windows and doors openings shall not span vertically more than one story.
- (2) Window openings shall correspond to interior space and shall not span across building structure such as floor structural and mechanical thickness.
- (3) Wall materials shall be consistent horizontally (ie. joints between different materials must be horizontal and continue around corners) except for chimneys and piers.
- (4) Material changes shall be made within constructional logic – as where an addition (of a different material) is built onto the original building.

E. Street Walls:

Street walls (stone, wrought iron, brick, wood or a combination of materials) establish a clear edge to the street where the buildings do not define outdoor space and separate the street from the private realm (parking lots, trash disposal bins, gardens, and equipment). Street walls shall be between 20 and 40 inches in height and are permitted along the frontage and common lot lines. All street wall shall be as carefully designed as the building façade, with the finished side out, ie. The “better” side facing the Street.

F. Windows and Doors:

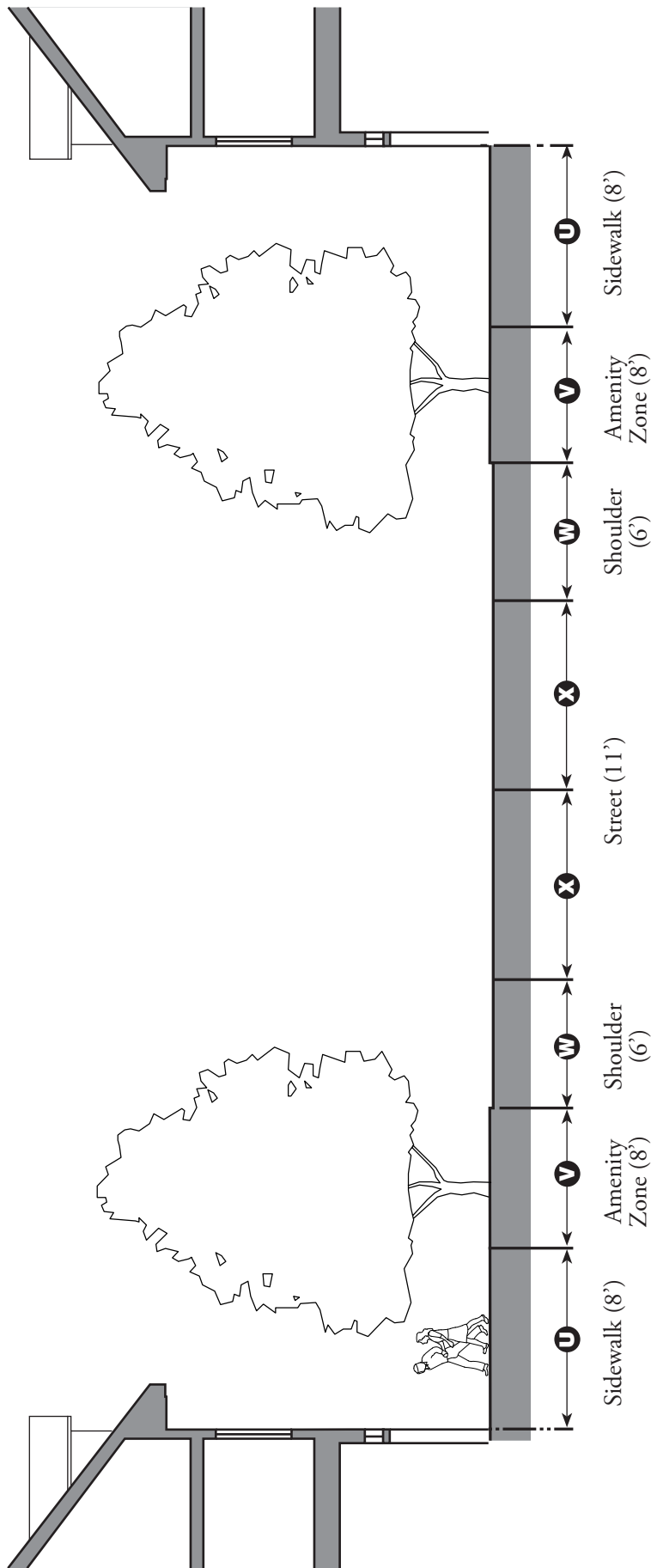
- (1) Window glass shall be clear, with light transmission at the ground story at least 90% and for the upper stories 75% (modification as necessary to meet any applicable building code requirements).
- (2) Doors shall be of wood, glass, clad wood, steel or a combination thereof.
- (3) Tinted glass is not allowed. Ultra violet protection glass of the highest transparency is allowed.

F. Green Building Design Standards

- (1) Best management practices for energy efficiency and low impact development are encouraged. Utilize LEED design standards as established by The US Green Building Council or similar organizations.

Streetscape Standards

- A. Sidewalks and Curbs:
- Brick, brick pavers and / or concrete (pervious / porous materials encouraged. Fly ash concrete encouraged)
 - Vertical granite curbing
- B. Lighting:
- LED's encouraged
 - Full cut-off fixtures required
 - Pedestrian-scaled lighting 30' o.c. or street-scaled lighting max. 90' o.c. staggered along both sides of the street
- C. Street Trees:
- Salt and urban tolerant. 3" min. caliper. 30' o.c. Plant in 6' x 6' x 6" granite planting strips or in 6' x 6' decorative tree grates (Tree Boxes for managing stormwater - street, roof drains - encouraged). Tree trunk shall be a minimum of three feet (3) from curb line or edge of shoulder
- D. Other Streetscape Amenities (shall be coordinated in style, color and materials):
- Benches
 - Bike racks
 - Trash receptacles
 - Lighting
- E. Parking
- Off-street
 - Remote within 1,300 feet
 - Shared
 - 50% of parking may utilize compact space dimensions
- F. Signage
- Building mounted in signable area: Maximum thirty two (32) square feet
 - Building mounted by entrances serving second floor: Maximum four (4) square feet, including all tenants
 - Projecting: Minimum eight foot (8) clearance. Maximum six (6) square feet
 - Sandwich boards : Four (4) square feet maximum
 - No signs permitted above second story floor plate, including signs in windows
 - Sandwich boards permitted during hours of operation. May not impede pedestrian movement
 - Externally lit signs only
 - Cut-off light fixtures required
 - LED's encouraged
 - Wood, composite, or metal materials only. Plastic signs not permitted
 - Neon signs not permitted
- G. Low Impact Development Standards:
- Utilize as feasible as defined in Section 181.7.1.2



Key
 ----Property Line