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MRLD LLC

M E M O

DATE: 12 March 2009

PROJECT: Standish Corner Village Design Master Plan Implementation

TO: Village Design Implementation Committee (Committee)
Carolyn Biegel, Committee Chair / Council representative
Isabel Higgins - Property owner within village
Lynn Olson - Property owner outside village
Maria Smith - Business owner within village
Mark Floor - Business owner outside village
Carol Billington - Planning Board Member representative
Garrett VanAtta - Recreation Committee representative
Jay Beedle - Property owner in the expanded village
Brenda Walker - Sebago Lake Village representative
Sally Clark - SAD 6 Board of Directors representative
David Robinson – Steep Falls representative

FROM: Mitchell Rasor, MRLD Principal

REGARDING: Standish Corner Village Design Master Plan Implementation
Preferred Concept Review / Preparation for Public Meeting
12 March 2009
7:00 PM
Town Hall

THE INFORMATION IN THIS MEMO IS FOR
DISCUSSION PURPOSES ONLY

Draft Zoning Overview Standards

I. Draft Zoning: Refer to Draft Zone Plan dated 3.12.09

Lower Village ~~Mixed Use I~~

The gateway to Standish Corner Village with well designed, predominately new mixed-use developments. Building footprints range in scale from 2,000 SF to a maximum of 30,000 SF with multiple story commercial/mixed use buildings the norm. Buildings fronting Route 25 are limited to a 3,500 footprint and maintain the traditional setbacks along Route 25.

Upper Village ~~(Mixed Use II)~~

The historic center of Standish Corner Village developed at a village scale with quality buildings and streetscapes. New building footprints range in scale from 2,000 SF to 5,000 SF in order to be compatible with the historic context of the area. The renovation of historic structures and infill redevelopment of underutilized properties is strongly encouraged. A range of incentives promotes the preservation of historic structures.

Village Residential ~~(Mixed Use III)~~

Primarily residential neighborhoods with a range of housing types and integrated professional offices and home occupations. Street networks and open spaces are frameworks for new neighborhoods. Commercial uses along Routes 25 and 35 require increased frontage and larger lots, consolidated curb cuts, lower traffic generating uses, and buffers between adjacent neighborhoods. New building footprints fronting Routes 25 and 35 range in scale from 2,000 SF to 7,500 SF.

II. Draft Street Standards

Road / Streetscape Standards								
	Sidewalk	On-street Parking	Esplanade	Travel Lanes	ROW	Design Speed	Street Trees	Bike Lanes
Commercial Street	Both sides min. 6'.	1 to 2 sides 8'	6' both sides* curbed.	9' each	50' – 58'	25 MPH	30' O.C. both sides	
Local Street	One side min. 6'	One side 8'	6' both sides (one side rain garden)	9' each	36'-44'	25 MPH	30' O.C. one side	
Collector Street	Both sides min. 6'	None	6' both sides (one side swale)	9' each	48'	25 MPH	30' O.C. both sides	3' both sides

*A Commercial Streetscape “esplanade” may be part of a hardscape treatment with either tree wells or raised planting beds to protect the roots. It is assumed in the more detailed streetscapes in Commercial areas that there is not an esplanade, but either a raised landscape bed or street trees with tree grates / pits.

General Street Notes:

1. Subdivision and Site Plan Review require that all streets to connect to adjacent undeveloped properties or create connections to existing adjacent developments. Paper streets extending though difficult terrain, such as land with steep slopes are not acceptable.
2. Route 25 shall remain a two-lane arterial with left turn lanes at traffic signals.
3. It is not anticipated that the Village Residential Zone will include Commercial Streets

III. Draft Dimensional Standards

Lower Village

Front Setback (all setbacks are for buildings. Existing buildings are typically grandfathered)

Arterial:	Buildings shall maintain the traditional alignment along Route 25
Collector Street:	25' minimum
Commercial Street:	0' to 15' minimum / maximum
Residential Street:	15' to 25' minimum / maximum
Side Setback	
Single-Family:	10' minimum
Multi-Family:	10' minimum
Commercial/Mixed Use:	0' to 20' (20' required between residential/commercial)
Rear Setback:	20' minimum
Lot Frontage:	
Arterial:	200' minimum
Collector Street:	150' minimum
Local Street:	75' to 100'
Commercial Street:	75' to 100'
Lot Size:	20,000 SF (40,000 SF fronting Route 25)
Density/Scale:	2 to 4 lots per acre minimum 3,500 SF max. (fronting Routes 25/35) to 30,000 SF

Village Center

Front Setback (all setbacks are for buildings. Existing buildings are typically grandfathered)

Arterial:	Maintain traditional alignment of buildings. 10' maximum from the 66' ROW.
Collector Street:	25' minimum
Commercial Street:	0' to 15' minimum / maximum
Residential Street:	15' to 25' minimum / maximum

Side Setback

Single-Family:	10' minimum
Multi-Family:	10' minimum
Commercial/Mixed Use:	0' to 20' (20' required between residential/commercial)

Rear Setback: 20' minimum

Lot Frontage: 100' minimum

Arterial: 100' minimum

Collector Street: 150' minimum

Local Street: 75' to 100' minimum

Lot Size: 20,000 SF minimum

Density/Scale: 2 to 4 units per acre minimum

3,500 maximum fronting Route 25 to 5,000 SF maximum

Village Residential

Front Setback (all setbacks are for buildings. Existing buildings are typically grandfathered)

Arterial:	Maintain traditional alignment of buildings. 10' maximum from the 66' ROW.
Collector Street:	25' minimum
Commercial Street:	0' to 15' NA
Residential Street:	15' to 25' minimum / maximum

Side Setback

Single-Family:	10' minimum
Multi-Family:	10' minimum
Commercial/Mixed Use:	0' to 20' (20' required between residential/commercial)

Rear Setback: 20' minimum

Lot Frontage:

Arterial: 175'

Collector Street: 150'

Local Street: 75' to 100'

Lot Size: 20,000 SF

Density/Scale: 2 to 4 units per acre (minimum)

3,500 maximum fronting Route 25 to 7,500 SF maximum

IV. Draft Land Uses

Lower Village ~~Mixed Use I~~

[To be completed]

Upper Village (~~Mixed Use II~~)

[To be completed]

Village Residential (~~Mixed Use III~~)

CEO Review Required

- Accessory uses and buildings
- Agriculture
- Family apartments
- Forestry management
- Home care services
- Home occupations, Level 1
- Single-family dwellings
- Timber harvesting

Planning Board Review Required (or as proposed restricted noted below)

- Adult day-care home
- Bed-and-breakfast
- Business and professional office under 2,000 square feet
- Retail business over 2,000 square feet
- Cemeteries
- Churches
- Commercial recreation
- Day-care - Home
- Elderly housing
- Fueling station
- Funeral homes
- Greenhouse/Farmstand (new use)
- Home occupation, Level 2
- Home occupation, Level 3
- Home retail sales – as an accessory use

Inns
Kennel
Mechanical repair garage
Motor vehicle sales
Multifamily dwellings
Municipal uses
Nursing homes
Private clubs
Public utilities
Restaurants without drive-through
Retail business under 2,000 square feet
Schools
Self-Storage (new use)
Tradesman
Veterinary clinics

BOA Review Required (Make all Planning Board Review unless proposed as restricted as noted below)

Animal husbandry
Day-care centers
~~Hospitals~~
~~Hotels~~
Kennel
Medical clinics
~~Motels~~
Residential care facility
~~Restaurant with drive-through~~
Transmission towers
~~Retail business over 2,000 square feet~~

PROPOSED EXPANDED USES

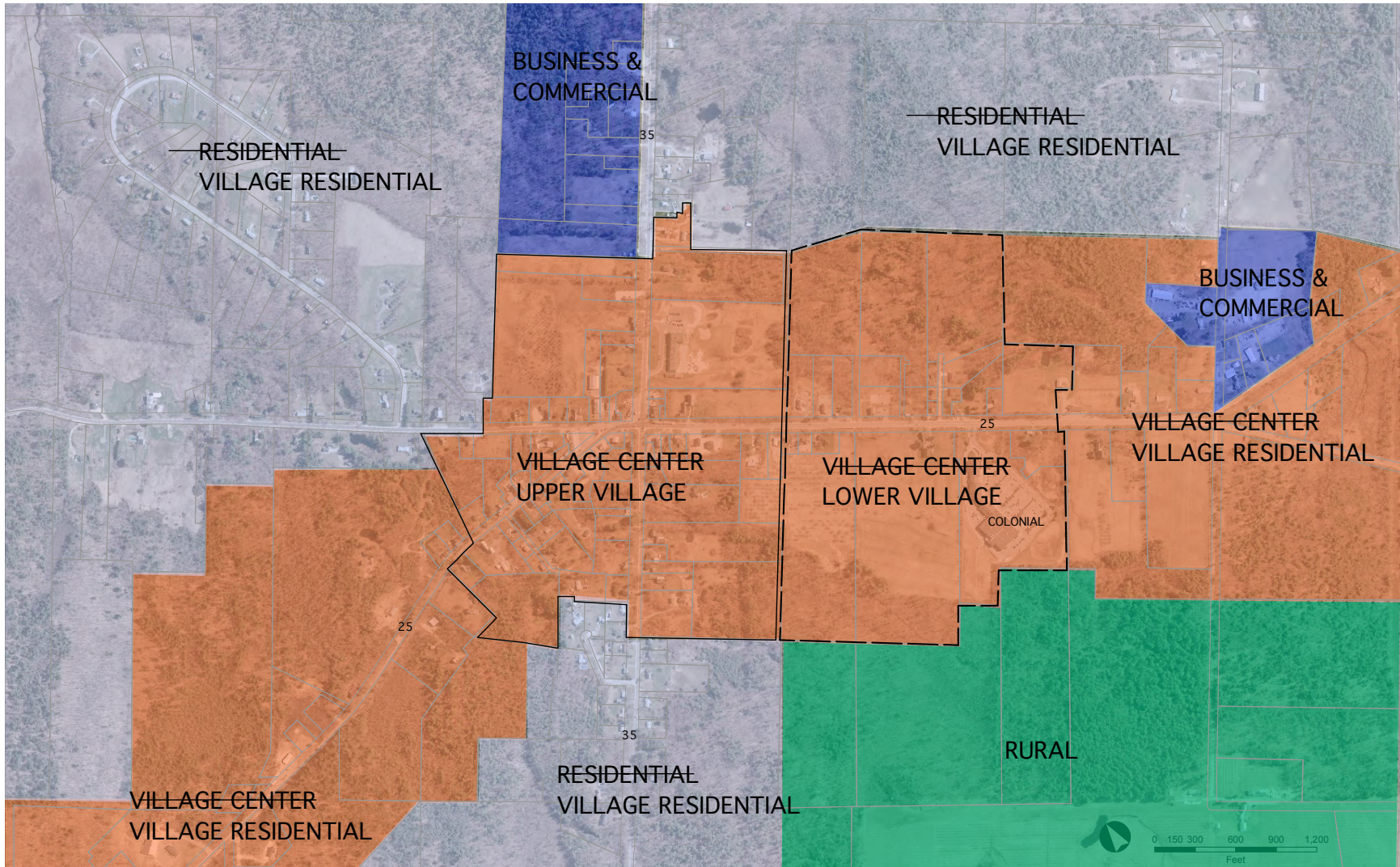
Three family dwellings
Greenhouse/farmstand
Self storage / storage

PROPOSED RESTRICTED USES (Unless allowed as Route 25/35 frontage use)

- Business and professional office over 2,000 square feet
- Cemeteries
- Commercial recreation
- Hotels
- Hospitals
- Medical Clinics
- Motels
- Nursing homes
- Restaurant with drive-through
- Retail business over 2,000 square feet
- Nursing homes

PROPOSED ROUTE 25/35 FRONTAGE USES (with appropriate buffering and design standards)

- Veterinary clinics
- Funeral homes
- Kennel
- Mechanical repair garage
- Motor vehicle sales
- Business and professional office over 2,000 square feet (but under 3,500 SF building footprint)
- Retail business over 2,000 square feet (but under 3,500 SF building footprint)



COMPARISON BETWEEN EXISTING ZONING AND PROPOSED ZONING - DRAFT
 STANDISH CORNER MASTER PLAN IMPLEMENTATION
 3.12.09 NOT TO SCALE